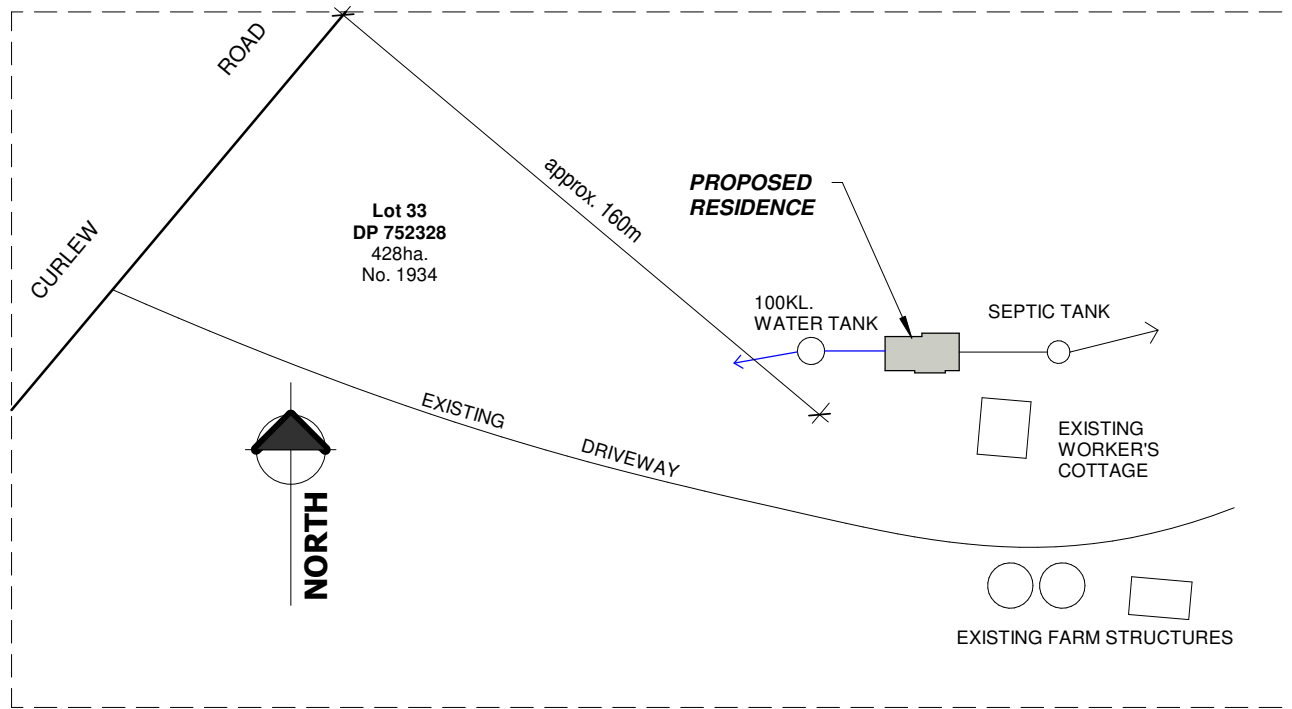
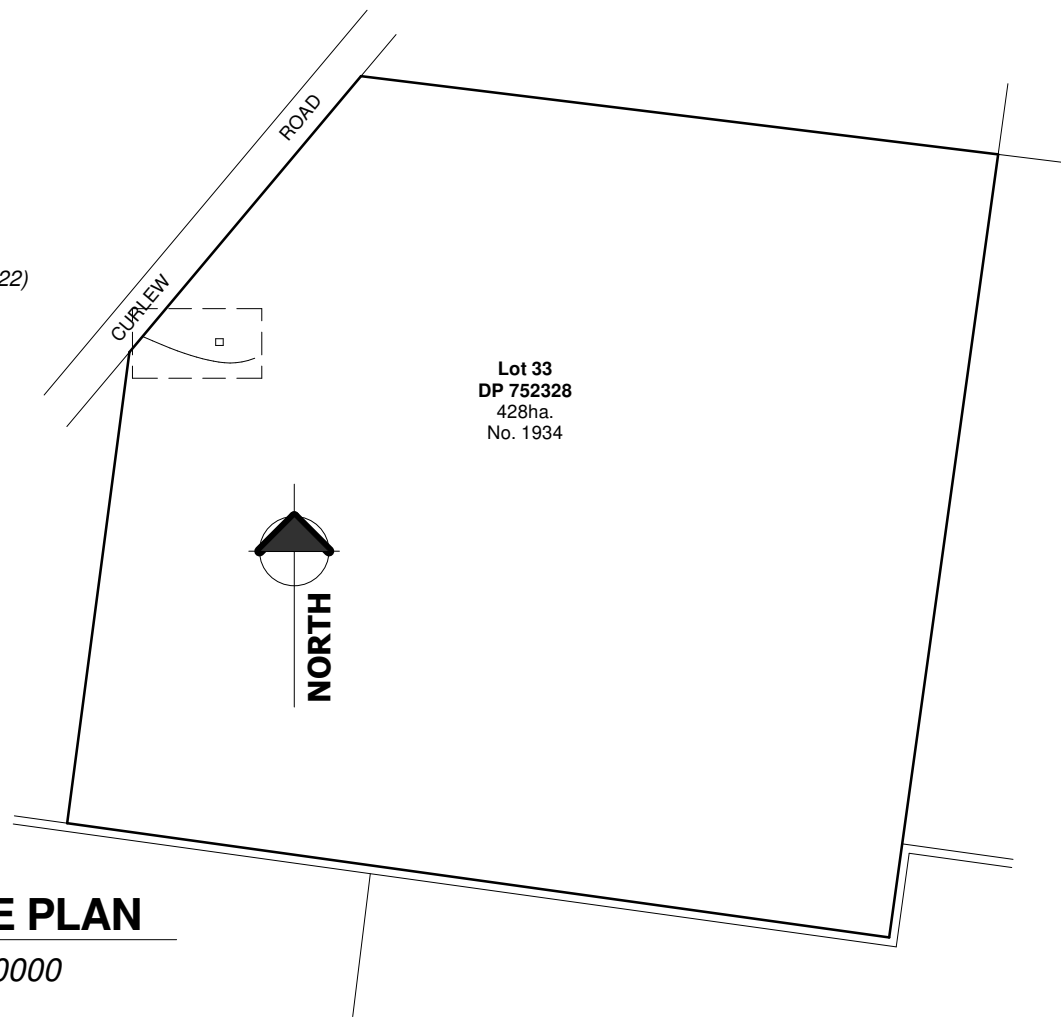


**PROPERTY DETAILS**

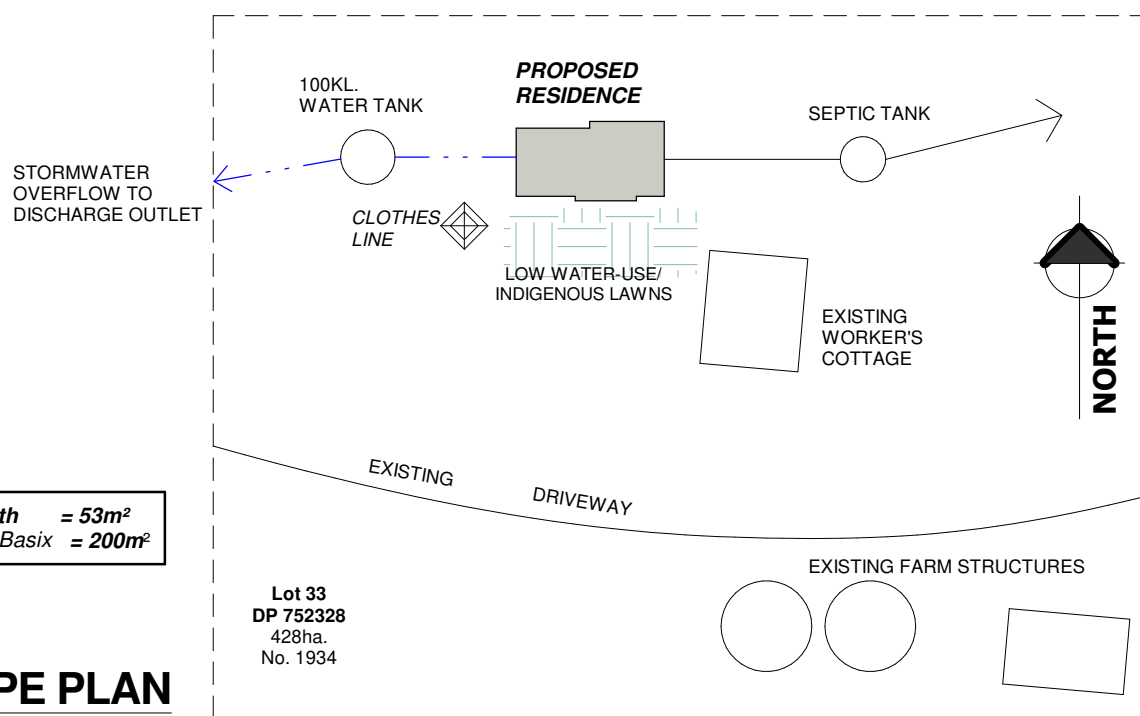
Address: 1934 Curlew Rd. Euabalong 2877  
 Lot/Section/Plan No. : 1 / DP1051972, 33 / DP752328, 34 / DP752328  
 Council: LACHLAN SHIRE COUNCIL

**SUMMARY OF PLANNING CONTROLS**

Local Environmental Plans Lachlan Local Environmental Plan 2013 (pub. 29-4-2022)  
 Land Zoning RU1 - Primary Production: (pub. 29-4-2022)  
 Height Of Building NA  
 Floor Space Ratio NA  
 Minimum Lot Size 400 ha.  
 Heritage NA  
 Land Reservation Acquisition NA  
 Foreshore Building Line NA



**2 HOUSE SITE**  
1 : 2000



ENSURE SEWER PIPE HAS 1:60 FALL TO POINT OF CONNECTION

TREATED EFFLUENT SHOULD BE AT LEAST 10-15m FROM THE BUILDINGS AND PROPERTY BOUNDARIES, 40 m FROM DAMS. ALLOW 6m BUFFER TO DRIVEWAY

**NOTE:** LAWNED AREAS FOR ILLUSTRATIVE PURPOSES ONLY

**NOTE:** POSITION OF CLOTHES LINE TO BE DETERMINED ON-SITE

Concrete Path = 53m<sup>2</sup>  
 Lawns - see Basix = 200m<sup>2</sup>

**3 LANDSCAPE PLAN**  
1 : 1000



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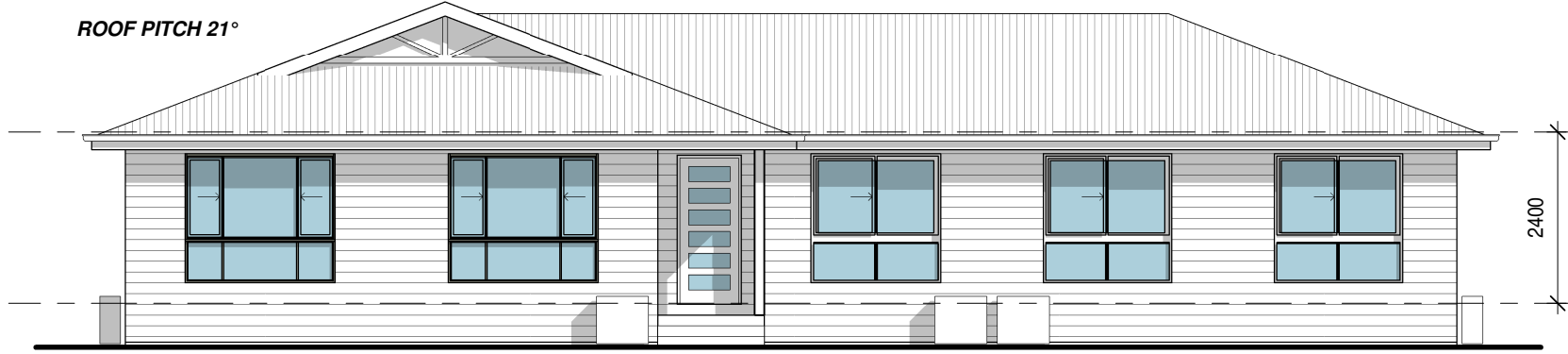
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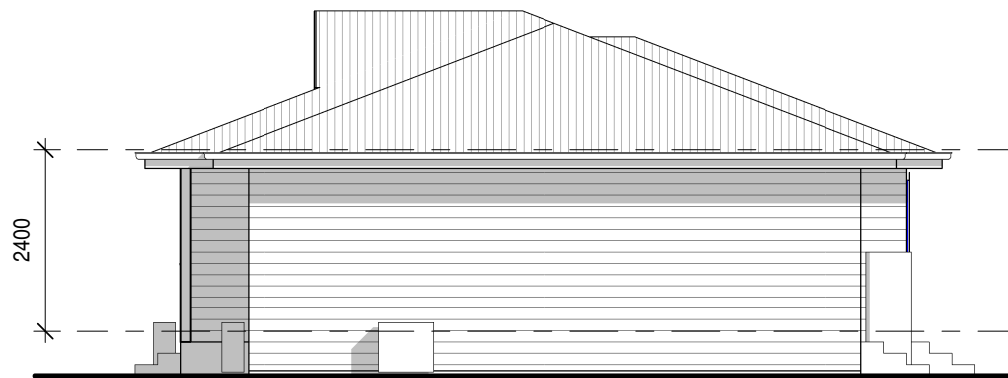
Date : 7/3/2024  
 Scale on A3 : As indicated  
 Drawn : C. W.  
 Project :  
 Sheet : A01

**Proposed 4 Br. Residence on 1934 Curlew Rd. Euabalong 2877**

SELECTED COLORBOND CUSTOM-ORB ROOF SHEETS



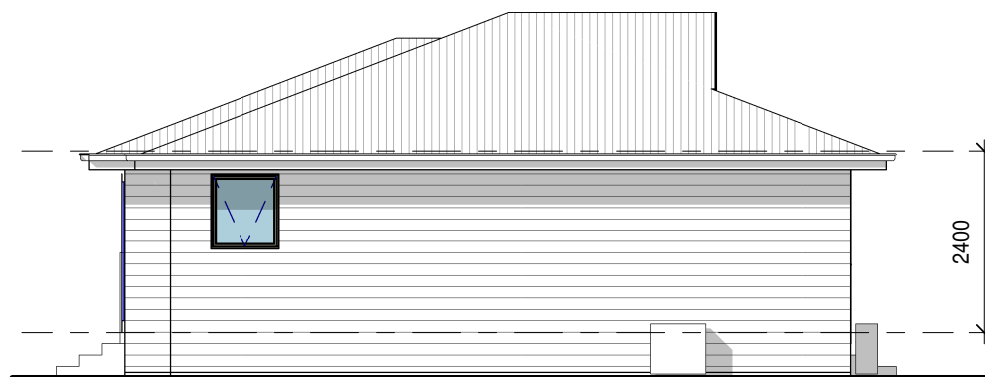
**1 SOUTH ELEVATION**  
1 : 100



**2 EAST ELEVATION**  
1 : 100



**3 NORTH ELEVATION**  
1 : 100



**4 WEST ELEVATION**  
1 : 100



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Project :  
Sheet : **A03**

**Proposed 4 Br. Residence on 1934 Curlew Rd. Euabalong 2877**

**NOTES:**

- BUILDER TO ADVISE FRAMING MANUFACTURER OF SELECTED WINDOW MANUFACTURER'S SIZES. (STANDARD WINDOW SIZES VARY SLIGHTLY BETWEEN MANUFACTURERS).
- ALL WINDOW AND DOOR HEAD HEIGHTS 2100 UNLESS NOTED OTHERWISE.
- WINDOW AND DOOR DIMENSIONS TO BE CHECKED ON SITE PRIOR TO MANUFACTURE.
- ALL OPERABLE WINDOWS TO BE FITTED WITH FLYSCREENS.

- FOOTINGS & SLABS** - IN ACCORDANCE WITH AS 2870, NCC VOLUME 2 **H1D4**
- MASONRY** - IN ACCORDANCE WITH AS3700, NCC VOLUME 2 **H1D5**
- TIMBER FRAMING** - IN ACCORDANCE WITH AS 1684-2 NCC VOLUME 2 **H1D6**
- DAMP PROOF COURSE & FLASHINGS** - IN ACCORDANCE WITH NCC VOLUME 2 **H2D4**
- TERMITE PROTECTION** - IN ACCORDANCE WITH AS 3600.1 and/or AS 3600 .3.
- ROOFING** - IN ACCORDANCE WITH AS 1562.1 NCC VOLUME 2 **H1D7**
- GUTTERS & DOWNPIPES** - IN ACCORDANCE WITH AS/NZS 3500.3, NCC VOLUME 2 **H2D6**
- CLADDINGS** - IN ACCORDANCE WITH NCC VOLUME 2 **H1D7 & H2D6**
- EAVES & SOFFIT LININGS** - IN ACCORDANCE WITH AS2908.2
- LININGS** - IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS
- WATERPROOFING** - IN ACCORDANCE WITH NCC VOLUME 2 **H4D1, H4D2 & H4D3**
- PLIABLE BUILDING MEMBRANE** - (EXTERNAL WALLS) TO COMPLY WITH AS4200.1 & AS4200.2
- WINDOWS & SLIDING DOORS** - IN ACCORDANCE WITH AS 2047 NCC VOLUME 2 **H1D8, H2V1**
- PLUMBING** - IN ACCORDANCE WITH **AS 3500**
- ELECTRICAL** - IN ACCORDANCE WITH **AS/NZS 3000**
- STORMWATER** - IN ACCORDANCE WITH AS3500 NCC VOLUME 2 **H2D2, H2D6**

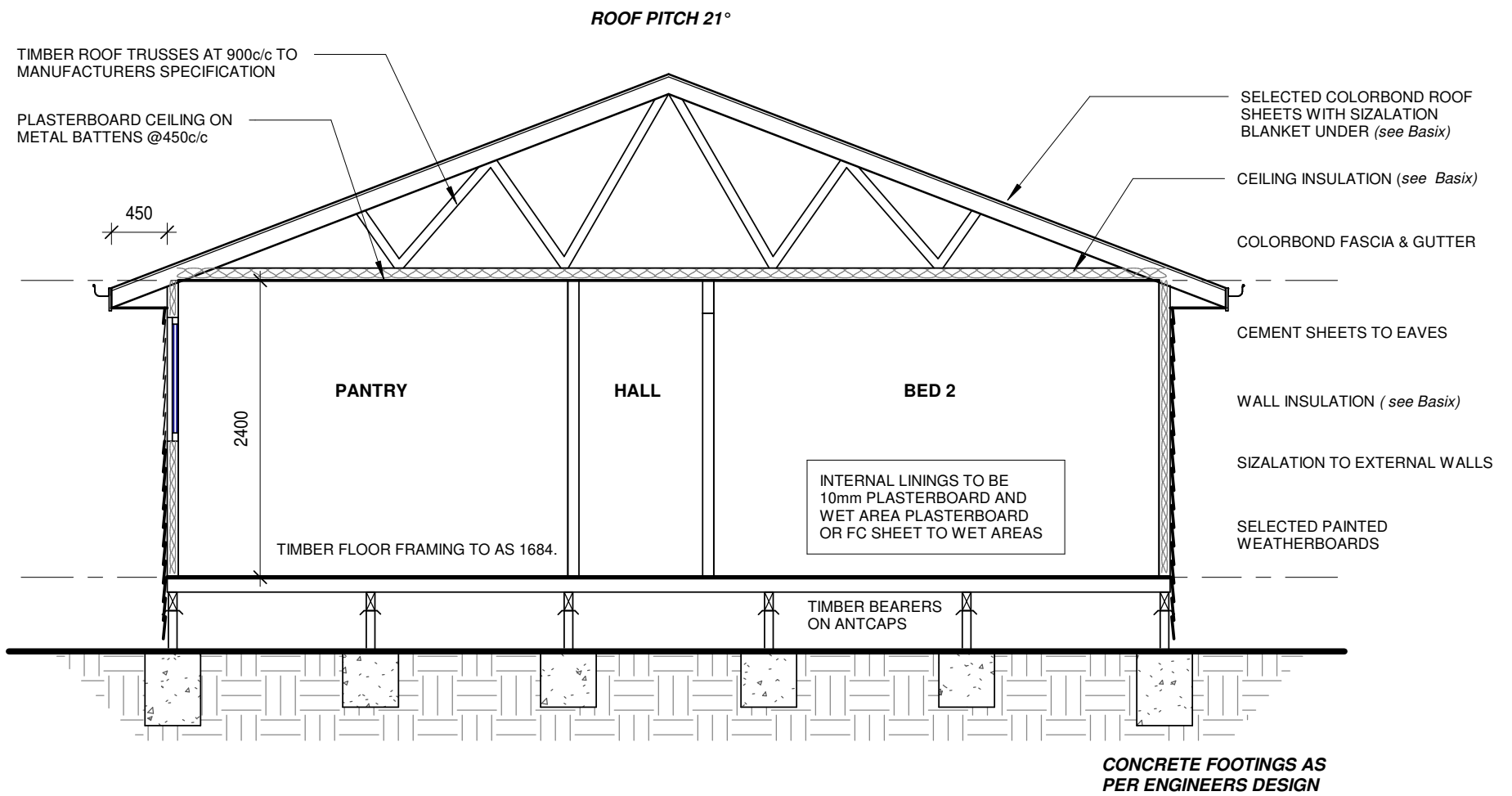
**NOTES:**

- i. Glazing in accordance with H1D8 & H2D7 of the NCC/BCA Volume Two, Section 8 of the Housing Provisions & Australian Standards AS 1288, 2047, 4055.
- ii. Downpipes & Gutters to comply with NCC Housing Provisions Part 7.4.
- iii. Flow rate and discharge of exhaust systems calculations in accordance with NCC Housing Provisions Part 10.8 - condensation management.
- iv. Condensation management details as per BCA Housing Provisions Clause 10.8.2, (3), (4), (5) i.e timer, dryer, makeup air.
- v. Provide Termite management system details/notation compliant with AS 3600.1 and/or AS 3600.3.
- vi. Timber Frames & Trusses - Reference AS/NZS 1170.1 – 2002, AS/NZS 1170.2 – 2021, AS 1684.2 – 2021, AS 1720.1 – 2010, AS 1720.5 – 2015 and AS 4440 -2004 - Installation of nail plated timber roof trusses.
- vii. Wet area in accordance with H4D1, H4D2 & H4D3 of the NCC Volume Two and Part 10.2 of the Housing Provisions OR Clauses 10.2.1 to 10.2.6 & 10.2.12 and AS 3740.

**SARKING-TYPE MATERIALS USED IN THE ROOF MUST HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5.**

**TIMBER FRAME TO AS1684-2**

**WET AREA WATERPROOFING IN ACCORDANCE WITH NCC 2022, Clause 10.2.7 to 10.2.32 or AS 3740**



1

**SECTION**

1 : 50



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Drawn :	C. W.
Project :	.
Sheet :	<b>A05</b>

**Proposed 4 Br. Residence on 1934 Curlew Rd. Euabalong 2877**

**Single Dwelling**

Certificate number: 1736672S\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Friday, 23 February 2024  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	1934 Curlew Road, Lake Cargelligo_02	
Street address	1934 CURLEW Road EUABALONG 2877	
Local Government Area	Lachlan Shire Council	
Plan type and plan number	Deposited Plan DP1051972	
Lot no.	1	
Section no.	-	
Project type	dwelling house (detached)	
No. of bedrooms	4	
Project score		
Water	✓ 26	Target 10
Thermal Performance	✓ Pass	Target Pass
Energy	✓ 75	Target 68
Materials	✓ 17	Target n/a

Certificate Prepared by	
Name / Company Name:	BONNEFIN CONSULTING PTY LTD
ABN (if applicable):	95164564210

Assessor details and thermal loads		
Assessor number	10056	
Certificate number	0009231085-01	
Climate zone	46	
Area adjusted cooling load (MJ/m <sup>2</sup> .year)	44	
Area adjusted heating load (MJ/m <sup>2</sup> .year)	29	
Project score		
Water	✓ 26	Target 10
Thermal Performance	✓ Pass	Target Pass
Energy	✓ 75	Target 68
Materials	✓ 17	Target n/a

Project address	
Project name	1934 Curlew Road, Lake Cargelligo_02
Street address	1934 CURLEW Road EUABALONG 2877
Local Government Area	Lachlan Shire Council
Plan type and plan number	Deposited Plan DP1051972
Lot no.	1
Section no.	-
Project type	
Project type	dwelling house (detached)
No. of bedrooms	4
Site details	
Site area (m <sup>2</sup> )	4289000
Roof area (m <sup>2</sup> )	190
Conditioned floor area (m <sup>2</sup> )	141.3
Unconditioned floor area (m <sup>2</sup> )	15.7
Total area of garden and lawn (m <sup>2</sup> )	200
Roof area of the existing dwelling (m <sup>2</sup> )	0

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	✓
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 10000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 150 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
- all toilets in the development		✓	✓
- the cold water tap that supplies each clothes washer in the development		✓	✓
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
- all hot water systems in the development		✓	✓

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
- all indoor cold water taps (not including taps that supply clothes washers) in the development		✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Simulation Method</b>			
<b>Assessor details and thermal loads</b>			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Construction</b>			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓

Construction	Area - m <sup>2</sup>	Insulation
floor - suspended floor above enclosed subfloor, particle board; frame: timber - H2 treated softwood.	157	rockwool batts, roll or pump-in
external wall: framed (solid or reconstituted timber weatherboard); frame: timber - untreated softwood.	all external walls	rockwool batts, roll or pump-in+ foil/sarking
internal wall: plasterboard; frame: timber - H2 treated softwood.	125.3	fibreglass batts or roll
ceiling and roof - flat ceiling / pitched roof, framed - metal roof, timber - H2 treated softwood.	190.38	ceiling: rockwool batts, roll or pump-in; roof: foil backed blanket.

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Glazing</b>			
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.	✓	✓	✓

Frames	Maximum area - m2
aluminium	33.4
timber	0
uPVC	0
steel	0
composite	0

Glazing	Maximum area - m2
single	14.3
double	19.1
triple	0

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b>			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric storage.	✓	✓	✓
<b>Cooling system</b>			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
<b>Heating system</b>			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓

Ventilation	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, open to façade; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, open to façade; Operation control: manual switch on/off		✓	✓
Laundry: individual fan, open to façade; Operation control: manual switch on/off		✓	✓
<b>Artificial lighting</b>			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.		✓	✓
<b>Natural lighting</b>			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
<b>Alternative energy</b>			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
The photovoltaic system must consist of:			
- photovoltaic collectors with the capacity to generate at least 1.5 peak kilowatts of electricity, installed at an angle between 10 degrees and 25 degrees to the horizontal facing north	✓	✓	✓
<b>Other</b>			
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.



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**Proposed 4 Br. Residence on 1934 Curlew Rd. Euabalong 2877**