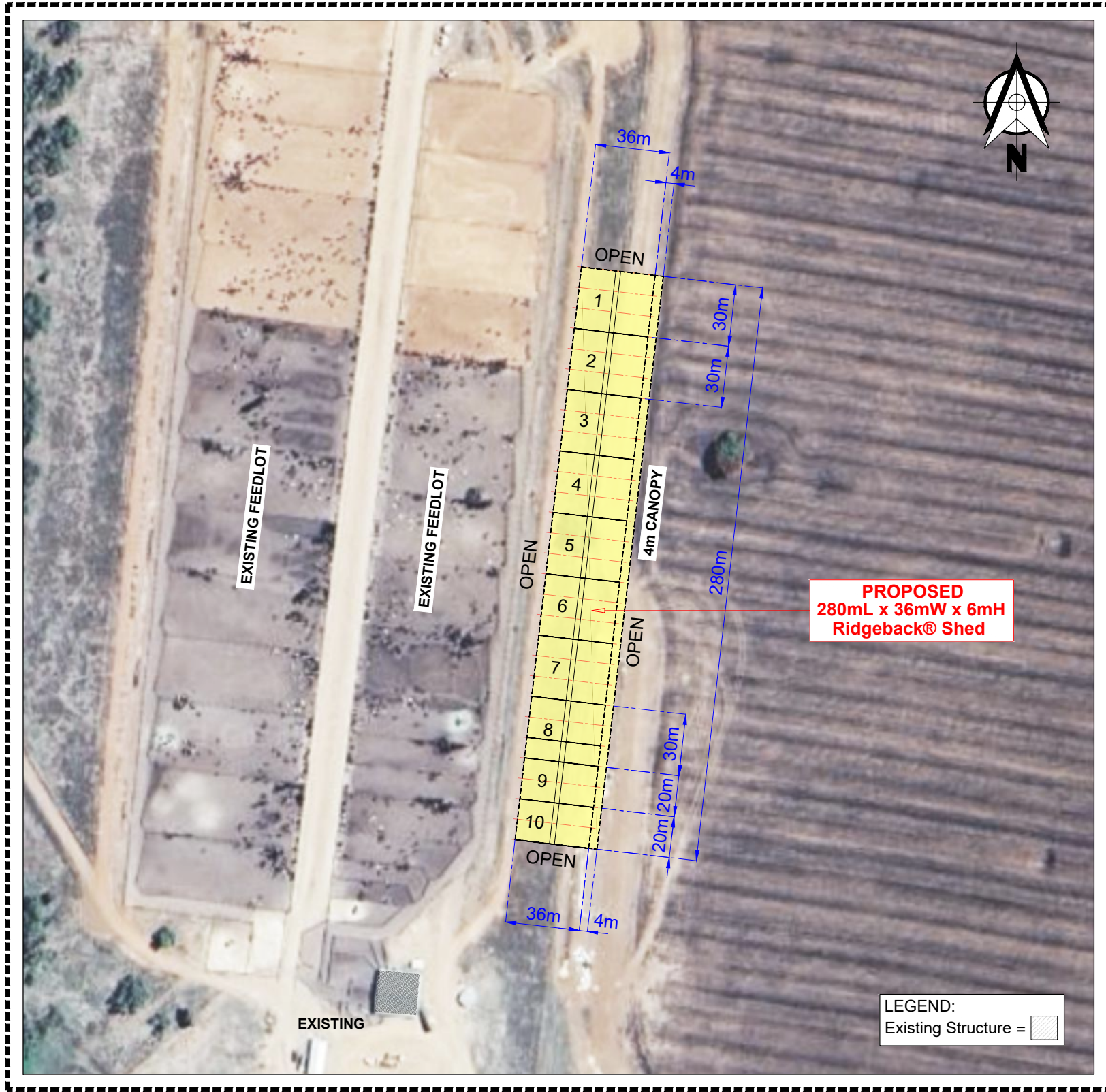


OVERALL SITE PLAN
Scale: 1 : 15000m



ENLARGE SITE PLAN
Scale: 1 : 2500m

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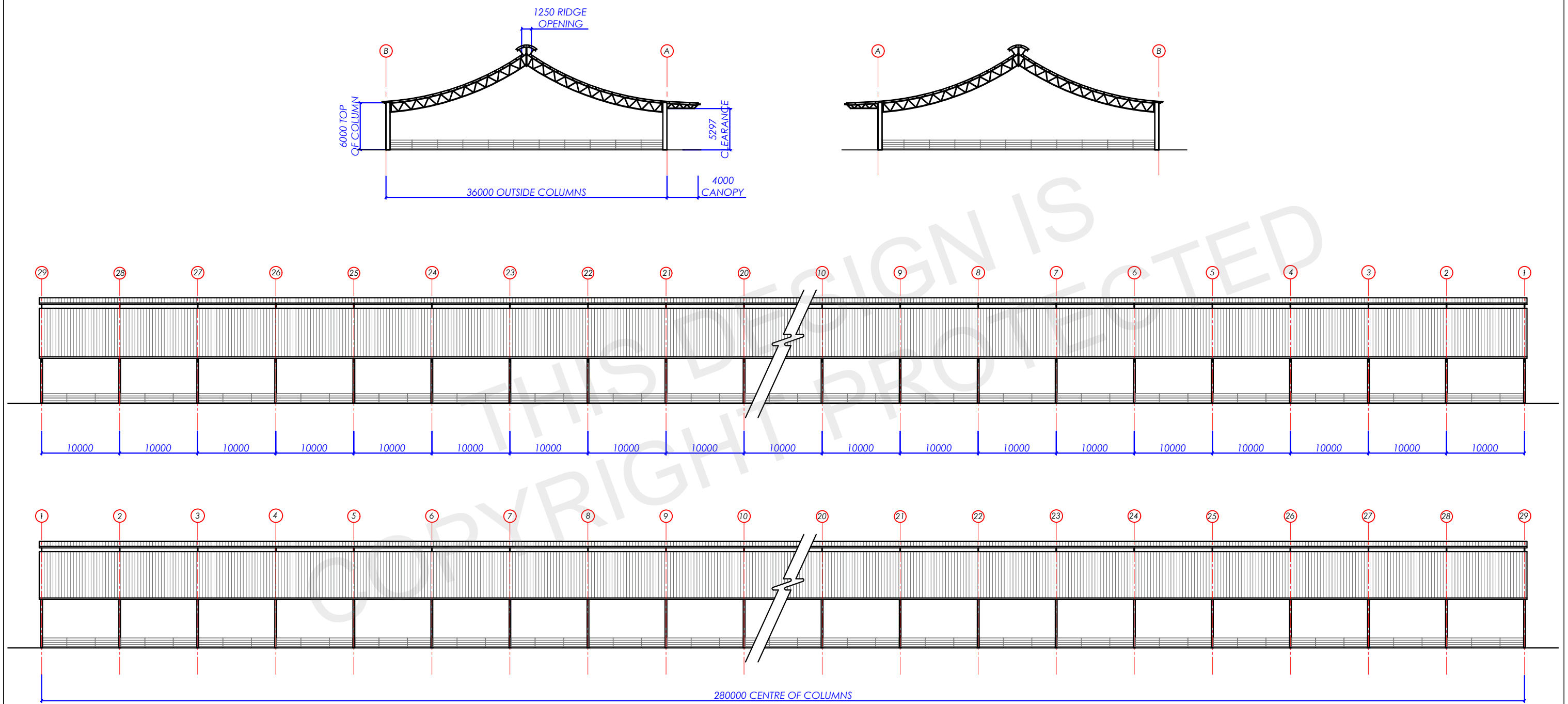


DRAWING NAME: Frampton Flat Ridgeback® Shed		
REV NO:		DATE:
	SITE MAP	22/12/2023
	SITE MAP	12/01/2024

PROPERTY DETAILS	
Suburb:	TULLIBIGEAL 2669
LGA:	LACHLAN
Lot:	19 Null DP752341
Address:	513 TULLIBIGEAL ROAD TULLIBIGEAL

DRAWING NAME:	SITE PLAN	
DRAWING NO:	SIZE:	A3
PAGE: 1 OF 1	SCALE:	As Shown

PROPOSED 280m x 36m x 6m RIDGEBACK FOR FRAMPTON FLAT - 27 Wattle St, Tullibigeal NSW 2669, Australia



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NOTES:

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REV NO:	DESCRIPTION	DATE:	DRAWN: KT			
A	PLANNING DRAWINGS	08/01/2024	DRAWING NAME: ELEVATIONS			
B			DRAWING NO:		SHEET:	REV:
C					A02	A
D			APPROVED.		SIZE:	
					A3	
			ISSUED.		PAGE: 2 OF 2	SCALE: 1:450
					DATE: 08/01/2024	



INNOVATIVE

DESIGNS AND PLANNING

Statement of Environmental Effects

Farm Building (Feedlot Cover)
Lot 19 DP 752341
513 Tullibigeal Road, Tullibigeal

February 2024



DOCUMENT CONTROL

REPORT DETAILS

Document Title	Statement of Environmental Effects – Farm Building, Feedlot Cover at Lot 19 DP 752341, 513 Tullibigeal Road, Tullibigeal NSW 2669
Client	Mr Russell Baker – Entegra Trading Pty Ltd

VERSION CONTROL

Issue	Description	Date	Author
A	Final for Lodgement	14 February 2024	

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1. INTRODUCTION

1.1 Executive summary

This Statement of Environmental Effects (SEE) has been prepared on behalf of Entegra Trading Pty Ltd, the applicant for the proposed farm building (feedlot cover) located at Lot 19 DP 752341, 513 Tullibigeal Road, Tullibigeal.

The SEE has been compiled to include all matters for consideration as detailed in Section 4.15 of the *Environmental Planning and Assessment Act 1979* (the Act).

The proposed development is for the construction of a Class 10a, 40m wide x 280m long x 6m high (eave) farm building (weather cover), to provide weather protection over an existing feedlot. The building will be a simple steel structure with a ridgeback roof design to improve airflow, keeping animals cooler in summer, whilst reducing mud and the potential for disease during wet periods.

The assessment concludes the proposed development is compliant with all applicable Environmental Planning Instruments, the Lachlan Development Control Plan 2018, all relevant Intensive Livestock Design Planning Guidance material and there are no existing site constraints or potential impacts resulting from the development that will create adverse outcomes.

The proposed development is assessed to be suitable for the site and within the public interest.

1.2 Format of the report

The information contained in this Statement of Environmental Effects (SEE) covers all aspects of the proposal as specified under the EP&A Regulations. The SEE has been prepared as follows:

Section 1	Introduces the proposal and key information.
Section 2	Describes the main features of the site and locality context.
Section 3	Provides a description of the proposal.
Section 4	Outlines the matters for consideration.
Sections 5 - 10	Assesses the development against the matters for consideration outlined in the Environmental Planning and Assessment Regulation 2021.
Section 11	Provides the conclusion of the SEE.



2. Site Description

The site is formally described as Lot 19 DP 752341, 513 Tullibigeal Road, Tullibigeal NSW. The site has a total area of approximately 248 hectares. The subject land is zoned RU1 Primary Production in accordance with the Lachlan Local Environmental Plan 2013.

The allotment on which the development is proposed is irregular in shape, with a maximum width of 2 kilometres and a maximum depth of 1.65 kilometres. The allotment (highlighted in red) forms part of a larger farm holding as shown on the below image.

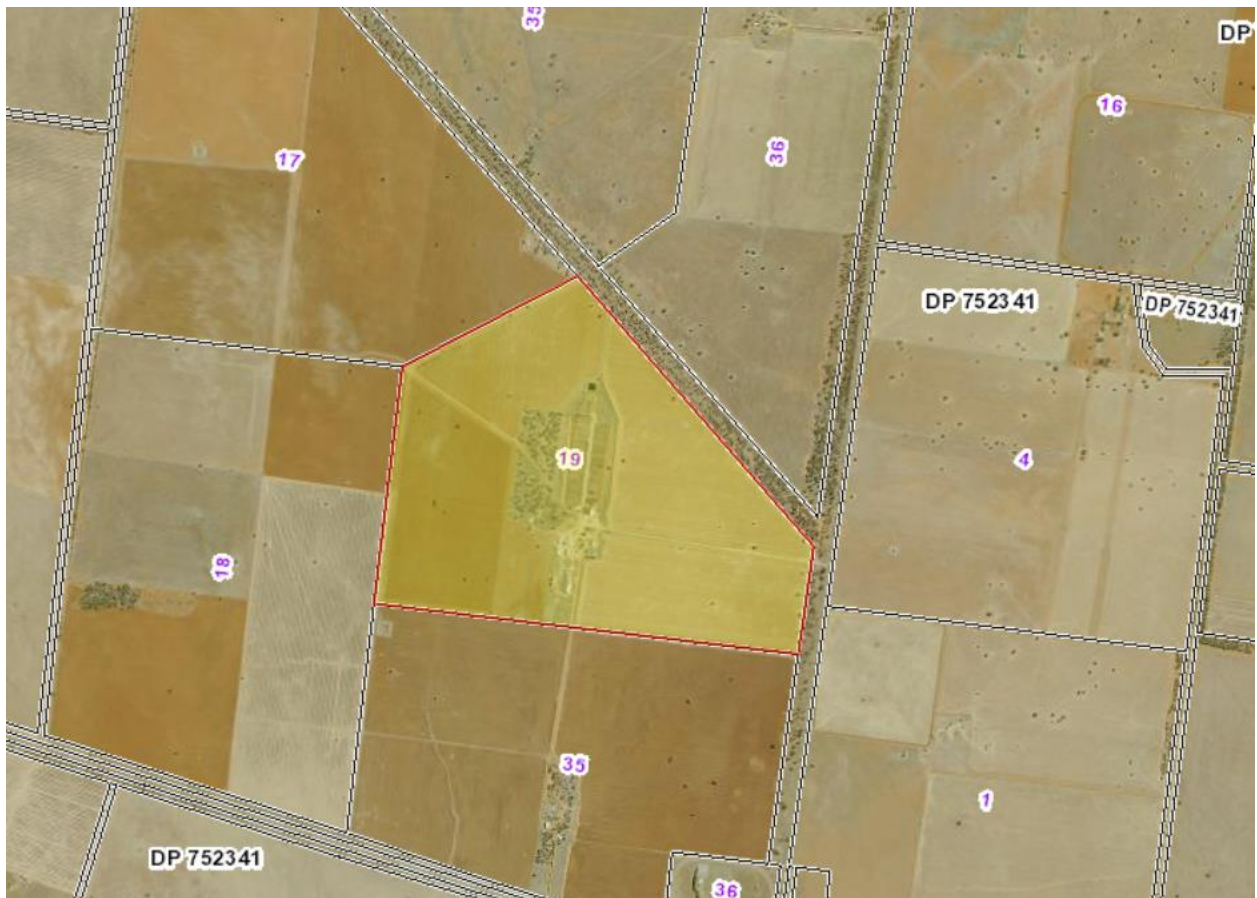


Figure 1: Location of proposed development

The allotment is orientated in a north-south direction with access located along the eastern boundary of the site from Tullibigeal Road. Tullibigeal Road is a sealed rural road.



The land contains a range of infrastructure associated with a feedlot including, but not limited to feedlot pens, storage sheds, material and waste stockpiles and stormwater drainage basins. The land has slight slope from south to north; however there are no major undulations or depressions within proximity of the development. There are no major watercourses or substantial water storage dams located within proximity of the site. There are a number of farm dams located within proximity of the site, primarily used for livestock.

The subject land is located within an existing rural locality which has operated stock since the middle nineteenth century. The site has historically operated as a broadacre farm for many years, comprising both livestock grazing and cropping. Development Consent was obtained in 2004 for the operation of a feedlot, with a maximum capacity of 2800 cattle at any time. The site is located 2.15 kilometres to the north of the Tullibigeal township. Adjoining properties contain existing broad acre rural industries with associated farm buildings.

Given the historic use of the site and the proposed development is not proposing any changes to the feedlot operations, it is assessed the subject land does not exhibit any major constraints to erect a farm building as a feedlot cover.

3. The proposal

The following two sections will outline the details of the proposal, including during construction and ongoing operation.

3.1 Construction

The proposed development seeks consent for the following:

- Construction of a Class 10a, 40m wide x 280m long x 6m high (eave) farm building (weather cover), to provide weather protection over an existing feedlot.

The building will be a simple steel structure with a ridgeback roof design to improve airflow, keeping animals cooler in summer, whilst reducing mud and the potential for disease during wet periods. The development will comply with the relevant provisions of the Building Code of Australia. Detailed engineering drawings and specifications will be submitted with a Construction Certificate.

3.2 Operations

The subject land contains an existing feedlot which has operated since 2004. The feedlot has a capacity of 2800 cattle at any one time and is operated continuously throughout the year, with cattle transported to and from the site on a weekly basis.



The proposed development is to improve animal welfare, limiting the potential for the accumulation of mud and disease.

The development will not change any operational aspects of the existing premises, nor will it increase the intensity of the development or the amount of cattle onsite at any time.

4. Matters for Consideration

Section 4.15 of the *Environmental Planning and Assessment Act 1979* lists the relevant matters for consideration as part of the determination of a Development Application. The relevant matters have been addressed in the following Sections of this Statement of Environmental Effects as follows:

Environmental Planning Instruments (Section 5)

This section evaluates the relevant environmental planning instruments that apply to the land as per Section 4.15(1)(a)(i) and Section 4.15(1)(a)(ii) of the Act.

Development Control Plans (Section 6)

This section evaluates the relevant development control plans that apply to the land, as per Section 4.15(1)(a)(iii) of the Act.

Regulations (Section 7)

This section evaluates the relevant provisions of the *Environmental Planning and Assessment Regulations 2000*, as per 4.15(1)(a)(iv) of the Act.

Likely Impacts of the Development (Section 8)

This section evaluates the likely impacts of the development and details mitigation measures, as appropriate, as per Section 4.15(1)(b) of the Act.

Suitability of the Site for Development (Section 9)

This section evaluates the suitability of the site for the proposed development, as per Section 4.15(1)(c) of the Act.

The Public Interest (Section 10)

This section considers the proposal against the public interest, as per Section 4.15(1)(e) of the Act.



5. Environmental Planning Instruments

5.1 State Environmental Planning Policies (SEPP's)

SEPP (Biodiversity and Conservation) 2021 –

In accordance with Section 3.6 the subject land is not identified as a potential koala habitat given the land is clear of vegetation and does not contain trees within Schedule 1 of the SEPP. The allotment and surrounding land has been cleared for many years and used as a feedlot therefore no further assessment is required.

SEPP (Housing) 2021 –

Not relevant to the proposal.

SEPP (Industry and Employment) 2021 -

Not relevant to the proposal. No signage is proposed as part of this application.

SEPP (Primary Production) 2021 -

Not relevant to the proposal.

SEPP (Resilience and Hazards) 2021 -

Part 2 and Part 3 of Chapter 3 of the State Environmental Planning Policy (Resilience and Hazards) 2021 outline the process for determining and assessing hazardous or offensive development.

The proposed development is for a farm building (feedlot cover) to provide weather protection for livestock. The development does not propose the storage, use or manufacture of any potential hazardous or offensive materials. No further assessment against Part 2 and Part 3 is required.

Section 4.6 of the State Environmental Planning Policy (Resilience and Hazards) 2021 requires a consent authority to consider whether the land is contaminated, if it is contaminated that it is suitable in its current state, or if remediation is required to make the site suitable for the purpose of the proposed development, prior to the development being carried out.

The SEPP 55 Managing Land Contamination Planning Guidelines have been considered, in particular whether the subject allotment has been used for a purpose described in Table 1 of Section 3.2.1 of the Guidelines.

The land has historically been used for agricultural purposes, specifically as a feedlot and for grazing and cropping.



Given the use of the land is zoned for primary production purposes and this application seeks consent for a building structure without changing the operational use of the premises, it is determined that the site is suitable for the development in its current state. It is assessed no further assessment against SEPP (Resilience and Hazards) 2021 is required at this stage.

SEPP (Transport and Infrastructure) 2021 -

Section 2.48 of the State Environmental Planning Policy (Transport and Infrastructure) 2021 a consent authority to give written notification to the electricity supply authority for development within or immediately adjacent to an easement for electricity purposes, development immediately adjacent to an electricity substation, or development within 5 metres of an exposed overhead electricity powerline.

The proposed development is not adjacent to an easement for electricity purposes, an electricity substation or within 5 metres of an exposed overhead electricity powerline. Therefore no referrals to the local electricity supply authority is required.

The development does not propose any changes to operations, including vehicle access locations or vehicle movement quantities; therefore no referrals or concurrence in accordance with Clause 2.121 of the SEPP is required.

5.2 Local Environmental Plans

The Lachlan Local Environmental Plan 2013 applies to the subject land. The site is zoned RU1 Primary Production and the proposed development is permissible with the consent of Council.

The Lachlan Local Environmental Plan 2013 Plan states that the consent authority must have regard to the objectives for development in a zone when determining an application. The objectives of the RU1 Primary Production zone are:

- To encourage sustainable primary industry production by maintaining and enhancing the natural resource base.
- To encourage diversity in primary industry enterprises and systems appropriate for the area.
- To minimise the fragmentation and alienation of resource lands.
- To minimise conflict between land uses within this zone and land uses within adjoining zones.

The proposed development is consistent with the objectives of the RU1 Primary Production zone. The development will support the ongoing operation of an existing feedlot which provides diversity in the rural industry sector without creating adverse impacts on the neighbouring allotments or adjoining zones. The proposed development will not fragment or alienate resource lands.



The following specific clauses of the Lachlan Local Environmental Plan 2013 are relevant to the proposed development and assessed as follows:

Clause 5.10 Heritage Conservation –

The subject land is not identified in Schedule 5 of the Lachlan Local Environmental Plan 2011 as containing any items of heritage significance. Due to the disturbed nature of the site it is assessed there is limited potential for any items or artifacts of Aboriginal cultural significance. Should any artifacts or relics be identified during construction work will be ceased immediately and the proponent will follow the recommendations of the Due Diligence Code of Practice for the Protection of Aboriginal Objects in New South Wales.

Clause 5.18 Intensive Livestock Agriculture –

Clause 5.18 sets out the criteria that a consent authority must consider prior to determining an application for an intensive livestock agriculture proposal. The feedlot operations are existing and no intensification of the use is proposed. As such there will be no changes to the management strategies for waste, odour, noise, soil degradation and animal care. The proposed development will improve site conditions by collecting and effectively managing stormwater as opposed to rainfall events flooding feedlot pens. The control of stormwater from the development will provide the opportunity for water storage and reuse therefore reducing the potential for any environmental impacts.

6. Development Control Plans

The Lachlan Development Control Plan 2018 (DCP) applies to all land within the Lachlan Shire Local Government Area. There are no specific development controls that apply to the proposed development. The following generally criteria that typically apply to rural developments have been considered:

Consideration	Comment	Compliance
Farm character / homestead	The proposed development complies with the principal of collocating rural structures by congregating the proposed structure with the existing farm buildings to maintain the character of the land. The building is also appropriately setback from roads and public places, therefore not creating any potential visual impacts.	Yes
Access	The proposed development does not include any new accesses, nor are any upgrades to the existing access proposed. There will be no changes to operations.	Yes
Environmental impacts	The proposed development is not located within proximity to any areas of environmental significance including threatened species or riparian corridors.	Yes



Flooding	The subject development will not have any adverse impacts on the potential for flooding. The proposal will improve stormwater management across the site through the collection and reuse of water for livestock consumption.	Yes
Operational management	The proposed development does not propose any operational changes. The existing operations comply with all relevant offset requirements from sensitive receivers.	Yes

7. The Regulations

Division 1 of Part 4 of the *Environmental Planning and Assessment Regulation 2000* specifies additional matters that must be taken into consideration by a consent authority in determining a development application. Consideration of these matters is below:

Clause 61 – Additional matters for consideration

Not relevant to the proposal.

Clause 62 – Fire Safety

Not relevant to the proposal.

Clause 63 – Temporary Structures

Not relevant to the proposal.

Clause 64 – Upgrades of Buildings

Not relevant to the proposal.

Clause 65 – Sydney Opera House

Not relevant to the proposal.

Clause 66 – Contributions (Sydney)

Not relevant to the proposal.

Clause 67 – Modification or surrender of development consent or existing use right

Not relevant to the proposal.

Clause 68 – Voluntary surrender of consent

Not relevant to the proposal.



8. The Likely Impacts

The likely impacts of the proposed development as assessed as follows:

Site Design

The allotment on which the farm building is to be located is an irregular shaped allotment, with a north / south orientation. The subject allotment forms part of a larger rural holding which has been used as a cattle feedlot since 2008. The remainder of the farming operation is used for broadacre cropping and livestock grazing. The siting of the structure centrally upon farming enterprise and compliance of the existing operations with the Draft Planning Guidelines for Intensive Livestock Agriculture Development will ensure there are no potential adverse impacts regarding noise, odour, dust, or the like upon neighbouring allotments. The ridgeback roof design of the structure will improve airflow improving animal welfare, whilst reducing the likelihood of disease during wet periods.

The site design complies with the development standards detailed in the Lachlan Development Control Plan 2018. The building has been sited along centrally within the subject allotment with stormwater to be drained in a northern direction toward the existing stormwater management system. Given the development will not change any operations there is sufficient room for vehicle maneuvering throughout the site without any vehicle conflicts.

Context and Setting

The subject land has been used as a feedlot for many years, and is an important rural industry with the Tullibigeal locality and Lachlan Shire local government area. Adjoining allotments are RU1 Primary Production allotments with typical farm buildings, predominantly used for broad acre cropping and livestock grazing. There is a small strand of remnant vegetation located to the west of the feedlots and along the Kings Lane Road corridor. No vegetation removal is proposed, nor will any vegetation be affected by the proposed development.

The subject land contains existing feedlot pens, farm buildings and water storage / management dams. The land is accessible via Tullibigeal Road which is a sealed rural road. Existing access to the site is formalized and no new accesses or upgrades are proposed.

The building will feature a ridgeback roof design to improve airflow, improving air circulation and animal welfare whilst reducing the potential for disease. The design of the structure will be consistent with existing building located on the site therefore maintaining the rural character of the locality.

Access, Transport and Traffic

Access to the site is available from Tullibigeal Road which is a sealed rural road. There are no proposed changes to existing access arrangements, nor are there any changes to access throughout ongoing operations. The development does not include any intensification of the use and therefore there will be no cumulative impacts of traffic on the local road network.



Public Domain

The proposed development will not have any negative impacts on public spaces or opportunities in the locality. There are no changes to the amount, location, design or use of any public spaces in the area as a result of the development.

Utilities

The proposed development is for a farm building (feedlot cover) to provide weather protection for animal welfare and to limit the potential for disease. No new utility connections are proposed or required as part of the development. No upgrades to existing utility services are proposed or required.

Heritage

The subject land is not identified in Schedule 5 of the Lachlan Local Environmental Plan 2011 as containing any items of heritage significance. Due to the disturbed nature of the site it is assessed there is limited potential for any items or artifacts of Aboriginal cultural significance. Should any artifacts or relics be identified during construction work will be ceased immediately and the proponent will follow the recommendations of the Due Diligence Code of Practice for the Protection of Aboriginal Objects in New South Wales.

Other Land Resources

The development is located within a rural zone, which has contained a feedlot since 2004. No adverse impacts on surrounding lands or key resource lands are identified.

Stormwater

The proposed development will improve stormwater management practices across the site. The roof structure will convey all stormwater north toward the existing farm dam, removing water from the feedlot pens and improving animal welfare by reducing the potential for diseases during wet periods.

Overflow from the farm dam will be conveyed in a northern direction, controlled between existing farm roads toward the northern boundary with any water which does not naturally infiltrate draining toward Kings Lane. The existing dam contains a liner for waste management purposes which will be retained.

All residual portions of the site will remain pervious to enable infiltration reducing site runoff. Impervious site areas will be appropriately graded to ensure surface flows are directed towards a legal discharge point without adversely impacting on neighbouring allotments.

Air and Microclimate

Constructions works are unlikely to create any unacceptable impacts on the air quality or microclimate. Ongoing operations of the site are not likely to create any air impurities or impacts given the proposed development does not include any intensification of the existing undertakings or changes to operational procedures.



Noise and Vibration

During construction phases of the proposed development noise is anticipated; however it will be temporary and all appropriate controls will be in place to prevent construction noise impacting neighbouring properties. Given the separation distance of the subject development from the nearest sensitive receiver there is assessed to be limited potential for any adverse impacts. Construction will be limited to daylight hours, or as conditioned by Lachlan Shire Council.

The proposed development does not include any intensification of the existing undertakings or changes to operational procedures; therefore there will be no increase in ongoing noise emanating from the site during routine operations. As such there is determined to be no additional noise or vibration impacts on the locality.

Flora and Fauna

The subject land is predominately clear of all mature vegetation. The site has largely been cleared throughout operation of the land for agricultural purposes. A small stand of vegetation is located to the west of the existing feedlot yards. The proposed development will not require the removal of any vegetation. The subject land is not identified on the Biodiversity Values Map. The proposed development therefore will not have any impacts on native flora or fauna.

Waste

All construction waste will be disposed of at an appropriately licensed waste facility. The proposed development does not include any intensification of the existing undertakings or changes to operational procedures; therefore there will be no ongoing impacts with respect to waste management.

Natural and Technological Hazards

There are no natural or technological hazards which are identified on the land or as a result of the proposal.

Safety, Security and Crime Prevention

The development is unlikely to create any unacceptable impacts regarding safety, security or crime prevention. The property contains existing suitable site fencing and management protocols to provide a sufficient level of safety and security.

Social and Economic Impact of the Proposal

It is anticipated the development will only create positive social and economic impacts. The development will provide a facility improving operations of an important rural industry within the Lachlan Local Government Area. The development will create employment opportunities throughout construction.



Cumulative Impacts

As identified throughout this SEE and the assessment of likely impacts the erection of the farm building (feedlot cover) will not lead to any intensification of the existing use or change to operational procedures which would have the potential to have adverse cumulative impacts regarding noise, odour, waste, pollution or traffic. The development will improve stormwater management, reducing the likelihood for disease during wet periods and the design of the structure will improve animal welfare conditions. No negative cumulative impacts are identified as a result of the proposal.

9. The Suitability of the Site

The land is located within a rural area with an existing feedlot operating on the premises, and the landform does not include any constraints to the development.

An assessment of the likely impacts confirms the development of a farm building (feedlot cover) is possible without any unacceptable impacts on neighbouring allotments, the broader locality or the environment.

The subject property is not constrained by any natural hazards including flooding or bushfire prone land, nor is it affected by any contamination.

The SEE demonstrates the proposal complies with all applicable statutory controls including the relevant State Environmental Planning Policies, the Lachlan Local Environmental Plan 2013 and the Lachlan Development Control Plan 2018.

It is determined that the site is therefore suitable for the proposed development.

10. The Public Interest

The subject land is zoned for Primary Production purposes and has been used for feedlot operations for many years. The proposal is permitted with consent in the RU1 Primary Production Zone.

There are no specific policy statements from either Federal or State Government that are relevant to the zone, nor are there any planning studies, strategies or policies that would prohibit the development.

There are no covenants, easements or restrictions on the land that affect the ongoing operation of the proposed development.

The development is assessed to pose no significant detrimental impacts on the public interest.



11. Conclusion

The proposed development is for the:

- Construction of a Class 10a, 40m wide x 280m long x 6m high (eave) farm building (weather cover), to provide weather protection over an existing feedlot.

The development does not seek any changes to the existing land use or operational activities. The development will contribute to ongoing operation of an existing feedlot which is an important rural industry within the Lachlan Shire, providing employment through ongoing operations. The design and siting of the development is consistent with the context of the locality and no impacts from operational activities are identified.

The information contained within this Statement of Environmental Effects concludes the proposal is acceptable when assessed against the criteria of Section 4.15 of the *Environmental Planning and Assessment Act 1979*, with any potential impacts to be either mitigated or minor in nature.